

Town of Mundare
Municipal Planning Commission Minutes

June 20, 2012

Present C. Gargus, M. Greening, F. Rosypal, C. Rakchaev,

Clerk Colin Zyla,

Call to Order Chairman Gargus called the meeting to order at 7:07 p.m.

Jane Dauphinee from Municipal Planning Services was present.

Adoption of Agenda

12/13 Rakchaev: that the agenda be accepted as amended

Carried

Adoption of Minutes

12/14 Greening: that the minutes of March 28, 2012 be accepted .

Carried

Business (a) Development Permit Application 12/17

Ernie Kowal, Jason Kowal and Shannon Kowal were present on behalf of the developers.

Development permit application 12/17 was presented. The applications is for a commercial building on 5004-50 Street.

Discussion took place

- the building meets the regulations for the C1 district
- there are issues with regards to architectural controls
- front door and window casing
 - black aluminum trim
 - needs to be different around to be defined better
 - material used makes it very difficult and cost prohibitive to meet standards
 - entrance door can be better defined by a sign hanging above

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- base and crown
 - need to be better defined
 - discussion took place regarding different ways to met the standards
- windows
 - coverage in front is 48%-standard is 50%
 - South coverage is 15%-standard is 30%
- signs
 - a development permit will be required for any sign put up in the future
- materials and finishes
 - discussion took place regarding the material and finish of the building
- parking
 - some type of screening is required-either trees or a fence

The developers left the meeting.

12/15 Rosypal: that the meeting go in camera at 8:35 p.m. Carried

12/16 Rosypal: that the meeting come out of camera at 8:45 p.m. Carried

The developers rejoined the meeting.

- the developers will provide redesigned drawings/information dealing with the following
 - more definition of the crown and base
 - some features on the South wall that can better define the façade
 - more definition of the entrance
- the MPC was in agreement that the 30% requirement of windows for the South side of the building was unrealistic

The developers left the meeting at 8:56 p.m.

12/17 Rosypal: approved development permit application 12/17 with the following conditions:

- The applicant will adhere to all setbacks and requirements of the appropriate land use bylaw district within the Town of Mundare Land Use Bylaw 825/10 as amended.
- Application for applicable building, electrical, plumbing and gas permits must be obtained from Superior Safety Codes– Safety Codes Officers for the Town of Mundare.

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-That the developer provide the Development Authority with a Real Property report, prepared by a registered Alberta Land Surveyor which indicates the location of all improvements on the site in relation to the property boundaries within one (1) year of the locks being installed on the development.

-The applicant shall ensure that the construction area is barricaded accordingly for work to proceed in a safe manner which presents no danger to the general public. This may require the rental and installation of portable chain link fencing or some other barricade which meets with the satisfaction of the Development Authority.

-Any damage to municipal property resulting from this permit will be assessed and costs for repairs of municipal property will be charged back to the applicant.

-All applicants, private or general contractors shall, during construction, renovation or demolition of a building, keep the land in a reasonable condition so as not to constitute a nuisance and shall secure all manner of debris so as to prevent it from blowing onto any other private or public property. At the conclusion of construction all building materials and debris shall be cleared from the site.

-Lot grade elevations must ensure that site grades shall be established to not allow one site to drain onto and adjacent site except where drainage conforms to an approved local or subdivision drainage plan.

-Connections to municipal water and sewer services from the new development are to be installed by the applicant.

-If the applicant has not already done so, the applicant shall apply and receive a business license to operate in the Town of Mundare.

-Landscaping must be completed within one (1) year from the date that the building is ready for occupancy.

-Proposed landscaping and proposed signage must be approved by the Development Authority of the Town of Mundare.

(b) Development Permit Application 12/18

Development Permit application 12/18 was presented. The application is to extend a porch roof and create a breezeway.

The application is to extend the roof to the property line. Section 1.8 of the LUB states that no projections may be closer than 1.2 m from the property line. A variance would be required to allow this porch extension

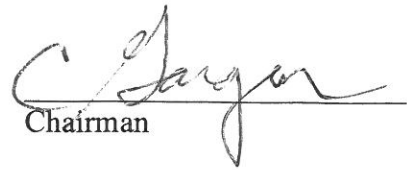
Discussion took place.

12/18

Greening: that development permit application 12/18 be denied as no projections is allowed to be closer than 1.2 m to a property line.

Carried

Adjournment Chairman Gargus adjourned the meeting at 9:05 p.m.


Chairman


Clerk