

**Town of Mundare**  
**Municipal Planning Commission Minutes**  
**September 19, 2012**

**Present** M. Greening, F. Rosypal, C. Rakchaev, D. Johnston

**Secretary** Colin Zyla,

**Call to Order** Vice Chairman Rosypal called the meeting to order at 7:00 p.m.

**Adoption of Agenda**

**12/27** Greening: that the agenda be accepted as amended

Carried

**Adoption of Minutes**

**12/28** Rakchaev: that the minutes of August 15, 2012 be accepted.

Carried

**Business (a) Development Permit Application 12/24**

No one was present.

Development permit application 12/24 was presented. The application is for an addition to a garage at 4903-51 Avenue.

- land is zoned R2
- a report from the development officer was presented
- work was started on the development before any permits were obtained
- variances requested

- yard size-variance from 54 ft to 50 ft
- yard setback variance from 20 ft to 14'6"

**12/29** Johnson: that development permit application 12/24 be approved with the following variances and conditions:

Variances

1. That section 3.5(x) (b), the minimum lot width, be varied to allow for a 50 ft lot.



2. That Section 3.5 (v), the garage door setback requirement, be varied to allow for a 14'6" setback.

Conditions

1. The exterior finish of the whole garage must be to the approval of the development Authority.

Carried

**(b) Development Permit Application 12/25**

Ray Sieben was present. He did not have any objections to anyone sitting on the board.

Development permit application 12/25 was presented. The development is a garage.

- land is zoned R2
- a report from the Development Officer was presented
- over 15 years ago a fabric covered temporary structure was put up-no permit can be found
- in the fall of 2011, the fabric was replaced with metal-it was determined that the work that was done would require a development permit
- there was correspondence with the owner that resulted in a development permit being applied for
- the garage door faces the backalley
- variance requested
  - front yard setback from 6.1m to 5.45 m
- Ray Sieben
  - came to the office for permission for the garage
  - was told he didn't need a permit-just make sure the garage was back from the front of the house 3 to 4 feet
  - original structure had plywood on it with a fabric covering-replaced the plywood and fabric with metal

12/30

Rakchaev: the development permit application 12/25 be approved with the following variances:

1. That section 3.5(3(iii)), the minimum front yard be to allow for a 5.45 m front yard.

Carried



**(c) Development Permit Application 12/26**

No one was present.

Development permit application 12/26 was presented. The development is a storage shed.

- land is zoned C3
- a report from the Development Officer was presented
- a variance for the side yard setback from 3.0 m to 0 m is requested
- concerns if no set back-unable to clean behind the shed
- shed next door is 0.33m from the property line
- concerns about a flammable building that close to the propane tank and above ground tanks-safety concerns

12/31

Greening: that development permit application 12/26 be approved with the following variances and conditions:

Variances

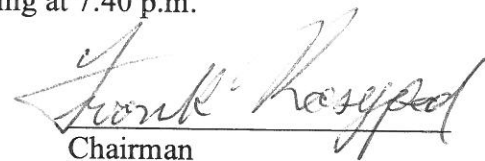
1. That section 3.12 3(c)(ii), the side yard setback, be varied to allow for a 0.33 m setback.

Conditions

1. The shed must be movable and no permanent foundation be constructed.
2. The applicant is to obtain building permits from Superior Safety Codes.

Carried

**Adjournment** Vice Chairman Rosypal be adjourned the meeting at 7:40 p.m.

  
Chairman

  
Clerk

